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| CITY OF WESTMINSTER | | | |
| PLANNING APPLICATIONS COMMITTEE | Date 21 February 2017 | Classification For General Release | |
| Report of Director of Planning | | Ward(s) involved Lancaster Gate | |
| Subject of Report | 10-11 Lancaster Gate, London, W2 3LH, | | |
| Proposal | Demolition of 1st and 2nd storey of existing rear extension and erection of new four storey rear extension with internal alterations and new lift associated with use of building as ten residential units and associated works. | | |
| Agent | Michael Gold Architects | | |
| On behalf of | Era Zly Ltd | | |
| Registered Number | 15/11987/FULL and 15/11988/LBC | Date amended/ completed | 27 June 2016 |
| Date Application Received | 23 December 2015 | | |
| Historic Building Grade | Grade 2 listed | | |
| Conservation Area | Bayswater | | |

1. RECOMMENDATION

1. Refuse permission – failure to provide an appropriate affordable housing contribution.
2. Grant conditional listed building consent.
3. Agree the reasons for granting listed building consent as set out in Informative 1 of the draft decision letter.

2. SUMMARY

The application site contains two, seven storey grade II listed buildings located within the Bayswater Conservation Area. These buildings are currently vacant, but have been laterally converted historically and were last in use as a single hotel premises (Class C1). Due to their poor condition, these buildings are also on the Heritage at Risk register.

The applicant proposes a change of use from a hotel (Use Class C1) to ten apartments (Use Class C3). To facilitate this work, the applicant proposes demolishing the structures to the rear of no. 11 above ground floor level and constructing a new four storey extension. External alterations,

including the reinstatement of railings and a gate to the Craven Terrace frontage are proposed. Internal alterations, including replacement of the existing lift, are also proposed.

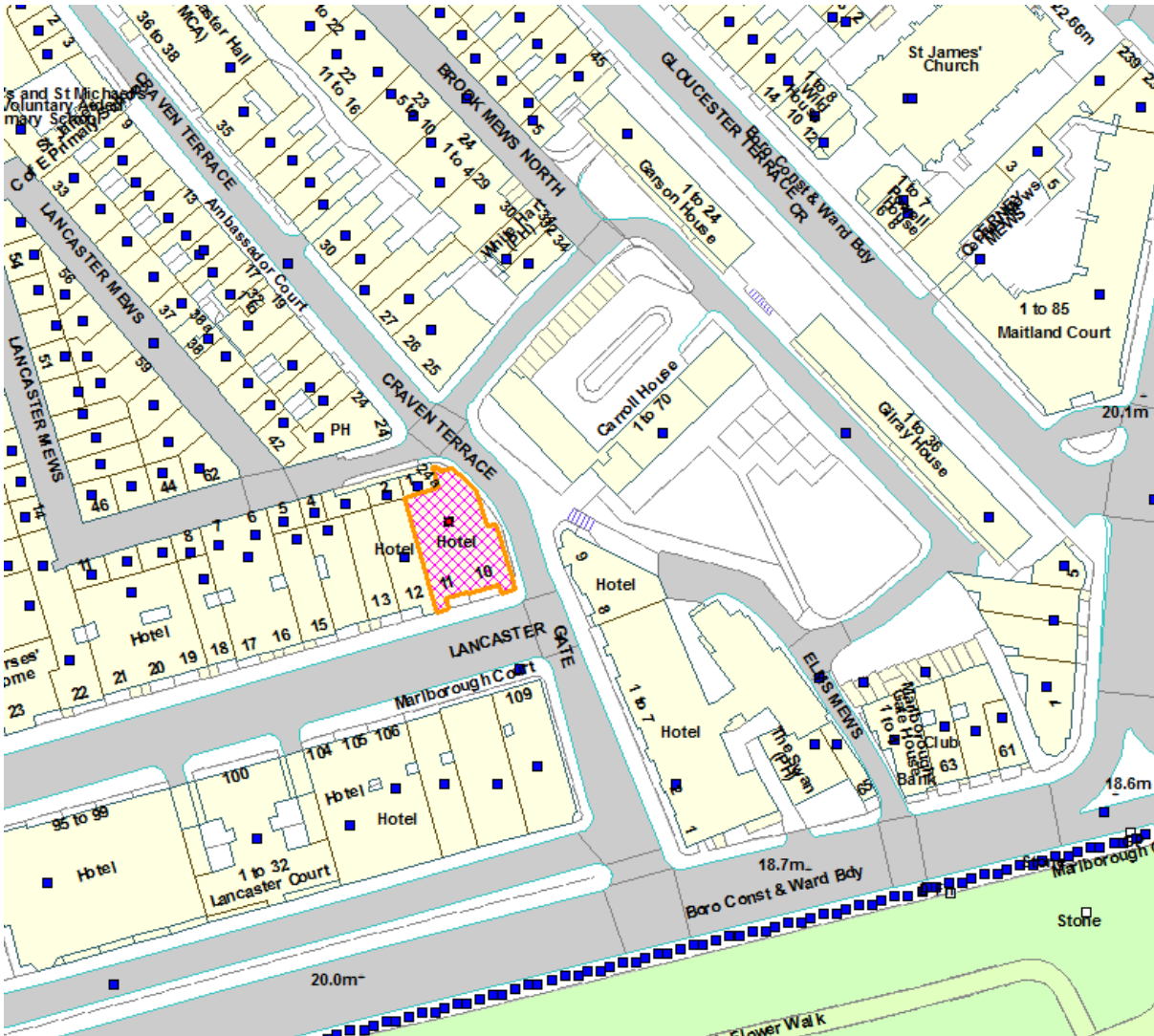
The key issues are:

- Loss of the hotel use and provision of residential;
- Provision of an affordable housing contribution and the Vacant Building Credit;
- Impact on the special architectural interest of this Grade 2 listed building and the character and appearance of the Bayswater Conservation Area; and
- Impact on on-street parking levels.

The applicant does not agree to payment of an affordable housing contribution of £3,611,520.00. This is despite viability testing demonstrating that this development can make this payment. In the absence of a policy compliant affordable housing payment, the proposed development would be contrary to policy S16 of the City Plan (adopted November 2016), policy H4 of the Unitary Development Plan (adopted January 2007) and the City Council's Interim Guidance Note on Affordable Housing (November 2013). Accordingly, it is recommended that permission is refused.

Subject to the recommended conditions, the proposed development would preserve the special architectural and historic interest of this listed building. Accordingly, it is recommended that listed building consent is granted, subject to the conditions set out in the draft decision letter.

3. LOCATION PLAN



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4. PHOTOGRAPHS



Front (Lancaster Gate) View



Rear (Craven Terrace) View

5. CONSULTATIONS

WARD COUNCILLORS FOR LANCASTER GATE

Any response to be reported verbally.

HISTORIC ENGLAND

Authorisation given to allow the City Council to determine as they think fit. Although the additional height to the rear extension to no. 11 would alter the setting of no. 11, any harm would not be substantial and would be outweighed by the benefits of the scheme.

ANCIENT MONUMENTS SOCIETY

Any response to be reported verbally.

DESIGN COUNCIL

Any response to be reported verbally.

THE GEORGIAN GROUP

Any response to be reported verbally.

SOCIETY FOR THE PROTECTION OF ANCIENT BUILDINGS

Any response to be reported verbally.

TWENTIETH CENTURY SOCIETY

Any response to be reported verbally.

THE VICTORIAN SOCIETY

Any response to be reported verbally.

SOUTH EAST BAYSWATER RESIDENTS ASSOCIATION (SEBRA)

Support the change of use from hotel to residential as this we would bring this long derelict building back into use.

However, the proposal is for a limited number of large flats, which will be unaffordable for most Londoners and so will not contribute to solving London's housing problem. The building will be like so many others in the area, such as The Lancasters, which are left largely empty for much of the time. A better solution would be for a larger number of smaller units of varying sizes, as is proposed in a recent planning application for the conversion of the Holiday Villas Hotel in Leinster Gardens.

The proposed infill behind No 11 is acceptable in principle but they note the comment from an adjacent owner regarding party wall damage.

The proposal to retain the 1950s extension at the rear of No 10 is fine and a rendered finish to the brickwork is an improvement. However, consideration should be given to using sash windows, which would be more in keeping with the style of the area, and are proposed for the extension to No 11. Although the 1950s extension is to be given a more 'modernistic' style, there is no reason that sash windows could not be used.

The railings along the Lancaster Gate front should match those along the street, not those of the immediately adjacent Best Western hotel.

ENVIRONMENTAL HEALTH OFFICER

Any response to be reported verbally.

HIGHWAYS PLANNING MANAGER

Unacceptable, but could be made acceptable through condition requiring the provision of cycle parking

BUILDING CONTROL

The new lift is very close to the main cantilever staircase, we do not want any lifting track or guides to be fixed to the staircase's wall because this could damage the staircase.

The lift shaft should be completely independent of the staircase. No adverse comments regarding the rear extension.

WASTE PROJECT OFFICER

Applicant has confirmed the provision of a waste store at the basement vault. However, the storage capacity of the bins required was not stated and the bins were not marked R and W to indicate recycling and waste bins respectively.

Proposal to deposit waste on pavement on rubbish days not acceptable. Also unclear how residents in no. 11 will access bin stores in no. 10.

AFFORDABLE HOUSING SUPPLY MANAGER

Any response to be reported verbally

ADJOINING OWNERS/OCCUPIERS AND OTHER REPRESENTATIONS RECEIVED

No. Consulted: 127

No. of objections: 1

In summary, the objector raises the following issues.

- Potential for party wall damage from the proposed works.
- Inconvenience and disruption during construction.

PRESS ADVERTISEMENT / SITE NOTICE:

Yes

6. BACKGROUND INFORMATION**6.1 The Application Site**

The application site is located at the intersection of Lancaster Gate and Craven Terrace. It contains two, seven storey grade II listed buildings located within the Bayswater Conservation Area. These buildings are currently vacant, but have been laterally converted historically and were last in use as a single hotel premises (Class C1). Due to their poor condition, these buildings are also on the Heritage at Risk register.

6.2 Recent Relevant History

11/01841/FULL

Demolition of rear extension to No. 11 above ground floor level and erection of replacement rear extension between first and fifth floor levels, erection of single storey basement extension, opening up of existing vaults to increase covered outside space within front lightwells, installation of mechanical plant and satellite dishes at roof level, alterations to existing facades including replacement of windows and rendering of existing rear extension to No.10 and installation of a platform lift to the Craven Terrace elevation between ground and basement levels and associated external alterations in connection with refurbishment of existing hotel (Class C1).

Application Refused - 12 September 2013

11/01302/LBC

Demolition of rear extension to No. 11 above ground floor level and erection of replacement rear extension between first and fifth floor levels, erection of single storey basement extension, opening up of existing vaults to increase covered outside space within front lightwells, installation of mechanical plant and satellite dishes at roof level, alterations to existing facades including replacement of windows and rendering of existing rear extension to No.10 and installation of a platform lift to the Craven Terrace elevation between ground and basement levels and associated internal and external alterations in connection with refurbishment of existing hotel (Class C1).

Application Refused - 12 September 2013

11/12021/FULL

Use as 12 self-contained residential flats (Class C3) (1x1 bedroom flat, 8x2 bedroom flats, 2x3 bedroom flats and 1x4 bedroom flat), demolition of rear extension to No. 11 above ground floor level and erection of replacement rear extension between first and fifth floor levels, alterations to existing rear extension to No. 11, erection of single storey roof extension to No. 11, installation of a platform lift to the Craven Terrace elevation between ground and basement levels, installation of glazed roof over front lightwells and associated external alterations.

Application Refused - 12 September 2013

12/00399/LBC

Demolition of rear extension to No. 11 above ground floor level and erection of replacement rear extension between first and fifth floor levels, alterations to existing rear extension to No. 11, erection of single storey roof extension to No. 11, installation of a platform lift to the Craven Terrace elevation between ground and basement levels, installation of glazed roof over front lightwells and associated internal and external alterations. Works proposed in connection with use as 12 self-contained residential flats (Class C3).

Application Refused - 12 September 2013

12/00959/FULL

Demolition of rear extension to No.11 above ground floor level and erection of replacement rear extension between first and fifth floor levels, erection of plant enclosure and installation of mechanical plant at roof level, alterations to existing facades including replacement of windows and rendering of existing rear extension to No.10, installation of

a platform lift to the Craven Terrace elevation between ground and basement levels, associated external alterations and use as 42 serviced apartments/ apart-hotel (Class C3)

Application Refused - 12 September 2013

12/01722/LBC

Demolition of rear extension to No.11 above ground floor level and erection of replacement rear extension between first and fifth floor levels, erection of plant enclosure and installation of mechanical plant at roof level, alterations to existing facades including replacement of windows and rendering of existing rear extension to No.10, installation of a platform lift to the Craven Terrace elevation between ground and basement levels and associated external alterations. Internal alterations to all floor levels. Alterations and extension in connection with use as serviced apartments/ aparthotel (Class C1).

Application Refused - 12 September 2013

15/01896/FULL

Part demolition and rebuild including rear extension, new stairs and lift with overrun and new roof garden. Conversion of property from hotel to residential use (4 x 4 bed, 2 x 3 bed and 2 x 2 bed).

Withdrawn – 28 July 2015

15/01897/LBC

Part demolition and rebuild including rear extension, new stairs and lift with overrun and new roof garden. Conversion of property from hotel to residential use (4 x 4 bed, 2 x 3 bed and 2 x 2 bed).

Withdrawn – 28 July 2015

7. THE PROPOSAL

The applicant proposes a change of use from a hotel (Use Class C1) to ten apartments (Use Class C3). To facilitate this work, the applicant proposes demolishing the structures to the rear of no. 11 above ground floor level and constructing a new four storey extension. External alterations, including the reinstatement of railings and a gate to the Craven Terrace frontage are proposed. Internal alterations, including the replacement of the existing lift are also proposed.

The proposed apartments would be comprised as follows:

| APARTMENT NO. | NO. OF BEDROOMS | FLOOR AREA (SQM GIA) |
|----------------------------|-----------------|----------------------|
| 1 (Duplex) | 3 | 295 |
| 2 (Duplex) | 3 | 344 |
| 3 (1 st Floor) | 3 | 337 |
| 4 (2 nd Floor) | 5 | 214 |
| 5 (2 nd Floor) | 2 | 151 |
| 6 (3 rd Floor) | 2 | 163 |
| 7 (3 rd Floor) | 4 | 216 |
| 8 (4 th Floor) | 2 | 147 |
| 9 (4 th Floor) | 2 | 161 |
| 10 (5 th Floor) | 3 | 227 |

8. DETAILED CONSIDERATIONS

8.1 Land Use

Loss of Hotel Use

Policy TACE1 of the Unitary Development Plan (adopted 2007) (“the UDP”) and policy S23 of Westminster’s City Plan (adopted July 2016) (“the City Plan”) allow for the loss of existing hotels outside the CAZ, CAZ Frontages and the Paddington Special Policy Area (PSPA), and in areas of over-concentration of hotels, such as Bayswater and Pimlico where existing hotels are causing adverse effects on residential amenity. The policy application wording notes that “hotels that are not purpose built and do not have adequate provision for servicing, especially for coaches, are more likely to give rise to adverse effects on local resident’s amenity and environmental quality”. Paragraph 8.12 of the UDP identifies that such premises are appropriate candidates for conversion to residential use and that this will be encouraged.

The application site does not have any provision for off-street servicing and nor could this be provided given the impact this would have on the character and appearance of the grade II listed buildings. The buildings were originally built as two large townhouses and not as a purpose built hotel premises. Being listed, the layout and accommodation that can be provided by the premises is compromised by the impact that internal alterations would have on the special interest of the building. As such, the principle of returning the building to permanent residential use is supported in land use terms.

Proposed Residential Use

Policies H3 of the UDP and S14 of the City Plan seek to encourage the provision of more residential floorspace including the creation of new residential units and encourage changes of use from non-residential uses to residential use. Accordingly, the provision of residential flats on this site is supported in principle.

Affordable Housing

Policy 3.12 of the London Plan states that the maximum reasonable amount of affordable housing should be sought when negotiating on individual private residential and mixed use schemes, having regards to several factors, including the need to encourage rather than restrain residential development and the specific circumstances of individual sites. The latter includes development viability.

In accordance with policy S16 of the City Plan and the City Council’s Interim Guidance Note on Affordable Housing (November 2013) (“the Interim Note”), the proposed units would necessitate the provision of an affordable housing contribution. Policy S16 sets out a clear presumption that an appropriate form of affordable housing should be provided on site. However, there is a cascade of other options which may be agreed with the City Council where on-site provision is not feasible, namely the provision of off-site affordable housing in the vicinity, or a financial contribution in lieu of provision.

Based on the proposed residential floorspace figure of 2978 sqm GEA and the City Council's Interim Guidance Note on Affordable Housing, there is a requirement for 720 sqm of affordable housing (or 9 units based on an average unit size of 80sqm) to be provided. This equates to a financial contribution of £3,611,520.00 towards the affordable housing fund based on the current unit sum of £304,000.00, should it be accepted that the other options in the policy cascade are not appropriate.

The applicant is not proposing to provide any affordable housing on site, or off site in the vicinity. The applicant contends that affordable housing cannot be provided on-site due to the constraints of this listed building, particularly the need to install separate entrances and a lift to make the units attractive to registered providers. This rationale is agreed with and it is recognised that on-site provision may compromise the viability of the development. The applicant also does not appear to own other sites in the vicinity where affordable housing could be provided. As such, it is appropriate to seek a financial contribution towards the affordable housing fund in lieu of provision.

The applicant has submitted a viability appraisal that indicates that payment of this contribution would not be viable. This appraisal was assessed independently by Lambert Smith Hampton (LSH) on behalf of the City Council. LSH disagree with this appraisal and consider payment of a policy compliant sum possible whilst maintaining development viability.

Despite this, the applicant advises that they do not want to make this payment. The applicant also contends that the Vacant Building Credit (VBC) should apply to this development as the building has been empty for some time. However, officers do not consider the VBC applicable as this building has been empty for redevelopment purposes, as evidenced by the series of refused applications on this site since 2011. The VBC is therefore not needed to incentivise development of this site, as set out in the National Planning Practice Guidance.

In the absence of agreement to provide an affordable housing payment, the proposed development would be contrary to policy S14 of the City Plan, policy H4 of the UDP and the Interim Note.

Residential Mix and Standard Accommodation

Policy H5 of the UDP requires 'one third' of the units to be family sized units (i.e. with 3 bedrooms or more), as specified in policy H5 of the UDP. In this instance, approximately 60% of the proposed units contain three or more bedrooms. Accordingly, the mix proposed is acceptable.

The proposed flats all exceed the relevant space standards set out in the Nationally Described Space Standard (March 2015) by a significant margin. Accordingly, the proposed flats would provide an appropriate standard of accommodation, consistent with policy 3.5 of the London Plan (FALP 2015).

SEBRA are concerned with the large size of the apartments proposed, noting that more smaller flats would have been provided. However, the Nationally Described Space Standard and policy 3.5 of the London Plan only set minimum flat sizes rather than maximum apartment sizes. Furthermore, the listed status of this building generally

prevents further subdivision of this building as to do so would cause further harm to the special architectural and historic interest of this building through loss of historic fabric and plan form. Accordingly, an objection to the development on this basis would not be sustainable.

Policy H10 of the UDP specifies that the Council will normally expect the provision of open amenity space outside the CAZ and paragraph 3.111 of the supporting text specifies that at least 9 square metres should be provided per unit. This size requirement is consistent with what is encouraged by Standard 26 of the Mayor of London's Housing SPG (March 2016) ("the Mayor's SPG").

The proposed residential units would not have any private outdoor amenity space. However, paragraph 2.3.32 of the Mayor's SPG specifies that, in exceptional circumstances, where site constraints make it impossible to provide private open space for dwellings, an additional internal living space equivalent to the area of the private open space requirement may be provided. Given the large size of the units proposed and the constraints imposed by the listed status of these buildings, it would be consistent with paragraph 2.3.32 of the SPG to not provide this private amenity space for each apartment. Accordingly, the absence of private outdoor amenity space for each flat is supported in this instance.

8.2 Townscape and Design

These grand stucco properties comprise of five storeys plus basement and dormered roof storeys and occupy a prominent location, bound by streets on three sides. No. 11 has a flat mansard roof with an asphalt covering; No.10 has a pitched, slate clad roof. A large rear extension extends to the rear of No.10 and a lower rear extension is located behind No.11. The buildings are in poor condition internally, and to an extent externally and are included on Historic England's Heritage at Risk Register.

The most significant external works are to the rear of the building. The existing and apparently 1950's era rear wing to no. 10 is to be rendered and painted to match the render colour of the existing building. The existing appearance is poor, though there is little information as to the detailing of this render, the basic principle of its rendering in a Craven Terrace street scene where most buildings are rendered is considered acceptable, and the detailing can be secured by the recommended conditions.

Full height rear extensions would typically be considered unacceptable in principle. However, the rear of no. 11 has already been heavily enclosed, is of particularly unattractive appearance, and much of the remainder of the terrace has been extended to the level proposed in this application. The detailing of the extension follows that of the one adjacent, and is considered acceptable in these circumstances. The stair enclosure and maintenance room proposed above this rear extension is unfortunate, although is not likely to be visible from street level. It would also be faced in yellow stock brickwork to ensure a traditional appearance and there are a number of other such structures along the terrace at this level. In these circumstances the stair enclosure and maintenance room are considered acceptable.

Other external works are either beneficial to the character of the building, such as the restoration of original railings where they have been replaced, or repair and

refurbishment of those that remain, and other works of refurbishment such as the installation of bottle balustrading back to the front entrance porches. Other more minor works of refurbishment are proposed and several more modern windows are proposed to be replaced. These works are uncontentious. SEBRA has requested the use of sash windows on the existing 1950's extension to no. 10. An amending condition is recommended requiring that these sash windows are installed.

Internally, the principal elements of the building are being retained and the plasterwork, currently in poor condition is to be repaired and restored. The revisions to the layout generally retain the important and intact elements of the original plan form, whilst the areas more significantly altered have already had significant changes over the years.

Overall, and mindful of the desire to see these buildings on the Heritage at Risk register restored, the public benefits of the proposal outweigh any potential harm caused. Subject to the recommended conditions, the proposed development would be consistent with policies S25 and S28 of the City Plan and policies DES 1, DES 5, DES 6, DES 9 and DES 10 of the UDP.

8.3 Residential Amenity

Aside from the rear extensions proposed to no. 11, no other extensions are proposed that would be capable of causing unacceptable loss of light, sense of enclosure or loss of privacy.

The rear extension would be located between the existing extension at no 10 and the flank wall of a similar extension to the rear of no. 12. In this position, it would not result in unacceptable loss of light, sense of enclosure or loss of privacy for the occupant of the neighbouring properties.

When viewed from the opposite site of Lancaster Mews, the proposed rear extension would also be seen against the larger backdrop of the rear of no.11 and the rest of the terrace. Accordingly, it would not result in unacceptable loss of light or sense of enclosure for the occupants of those properties. The windows in the rear elevation of the proposed extension would also have similar outlook to the existing and neighbouring buildings. Accordingly, it would not result in unacceptable loss of privacy for neighbouring properties.

No mechanical plant is proposed as part of this application. Accordingly, the proposed development would not give rise to unacceptable noise pollution for the occupiers of neighbouring properties.

Given the above, the proposed development would be consistent with policy S29 of the City Plan and policies ENV 7 and ENV 13 of the UDP.

8.4 Transportation/Parking

Parking

The Highways Planning Manager has reviewed the application.

No on-site parking is proposed as part of this application, nor could it be accommodated on-site without causing significant harm to these listed buildings. Where no on-site parking is proposed, policy TRANS23 of the UDP notes an 80% on-street car park occupancy threshold above which the provision of additional vehicles to the on-street parking environment will result in an unacceptable level of deficiency.

Policy TRANS23 includes all legal parking spaces. During the daytime period within the area, the legal on-street spaces for permit holders are Residents' Bays and Shared Use Bays. The evidence of the Council's most recent daytime parking survey in 2015 indicates that the parking occupancy of Residents' Bays and Shared Use Bays within a 200 metre radius of the development site is 77.3% (consisting of 195 Residents' and 8 Shared Use Bays, 150 and 7 of which were occupied respectively). Overnight, the pressure on Residents' and Shared Use Bays remains almost the same at 76.8%, although residents can also park free of charge on metered parking bays or single yellow line in the area.

The anticipated on-street parking demand from the proposed flats would result in daytime parking occupancy in the area exceeding 80%. To mitigate this, the applicant has suggested that lifetime car club membership will be made available to the occupants of each flat. Should the committee be minded to grant permission, it is recommended that this is secured by section 106 agreement.

Cycle Parking

Policy 6.9 of the London Plan (FALP 2015) requires provision of a minimum of 18 cycle parking spaces for the new residential units. However, the submitted drawings only indicate 9 cycle parking spaces, resulting in a shortfall of 9 spaces. There appears to be no reason why these spaces could not be provided on-site and a condition is recommended to secure these spaces on-site. Subject to this condition, the proposal would be consistent with policy 6.9 of the London Plan.

Waste

The Waste Projects Officer notes concerns with the waste storage and management regime proposed. A condition is recommended to secure appropriate waste and recycling storage and management.

8.5 Economic Considerations

No economic considerations are applicable for a development of this size

8.6 Access

All apartments would be accessed via a lift whilst most would be located on one level. Recognising the constraints of this listed building, the proposed development would provide adequate access for disabled persons.

8.7 Other UDP/Westminster Policy Considerations

None

8.8 London Plan

This application raises no strategic issues.

8.9 National Policy/Guidance Considerations

The City Plan and UDP policies referred to in the consideration of this application are considered to be consistent with the NPPF unless stated otherwise.

8.10 Planning Obligations

Were the development otherwise acceptable and as indicated above, the draft 'Heads' of agreement would be:

- a) Provision of lifetime car club membership (minimum 25 years) for all 10 flats; and
- b) Payment of cost of monitoring the agreement.

The change of use and additional floorspace created would also be Westminster CIL liable. Subject to any exemptions that may be applicable, the estimated Westminster CIL payment is £1,066,400.00.

8.11 Environmental Impact Assessment

EIA is not applicable for a development of this scale.

8.12 Other Issues

The objector has raised concerns regarding party wall works. This is not a material planning consideration. Conditions are also recommended to limit the impact of construction works as far as is reasonably practicable under planning law.

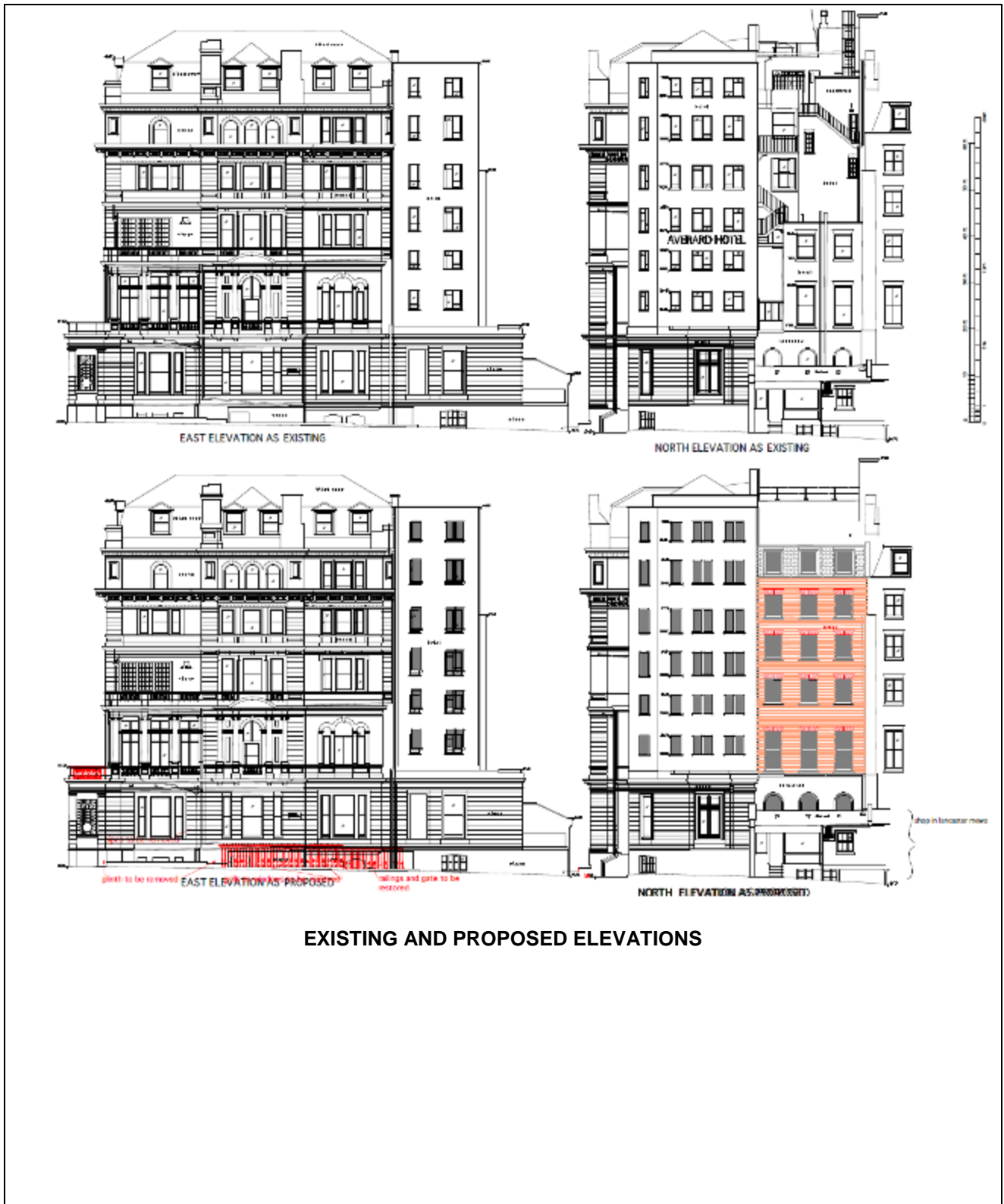
9. BACKGROUND PAPERS

1. Application form
2. Response from Historic England, dated 21 July 2016
3. Response from South East Bayswater Residents Association, dated 17 July 2016
4. Response from Highways Planning Manager, dated 24 May 2016
5. Response from Building Control, dated 21 July 2016
6. Response from Waste Project Officer, dated 18 July 2016
7. Letter from occupier of 4, Grove Way, Esher, Surrey, dated 9 July 2016

(Please note: All the application drawings and other relevant documents and Background Papers are available to view on the Council's website)

IF YOU HAVE ANY QUERIES ABOUT THIS REPORT PLEASE CONTACT THE PRESENTING OFFICER: RUPERT HANDLEY BY EMAIL AT rhandley@westminster.gov.uk

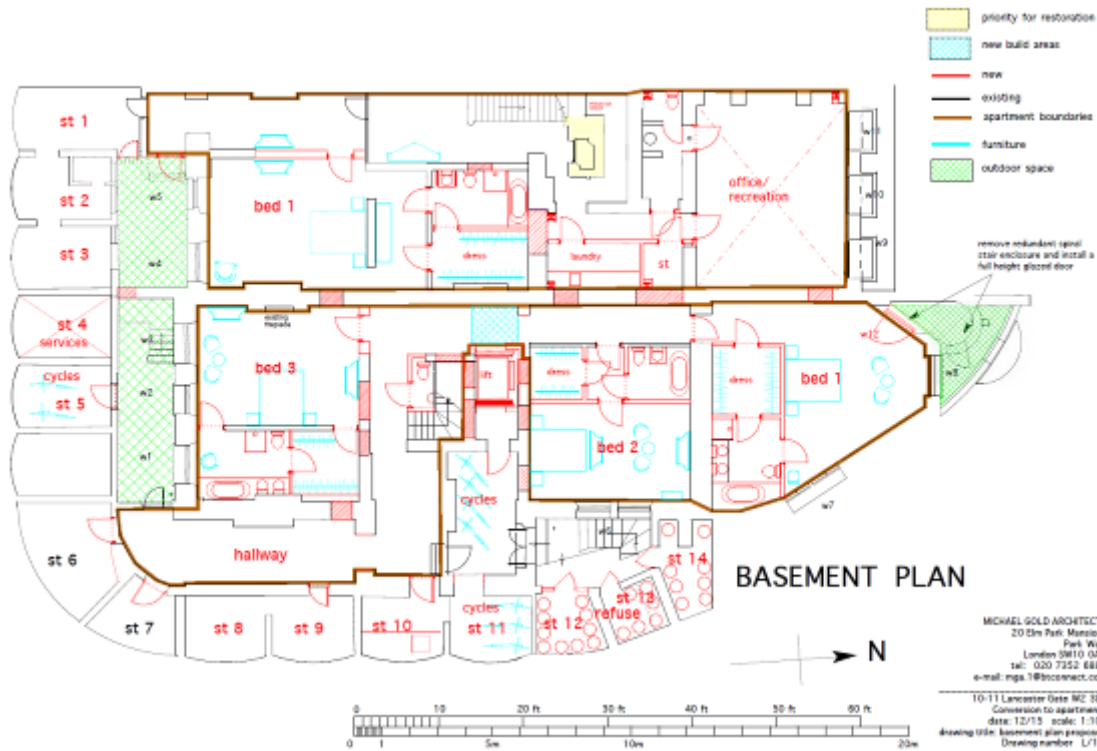
10. KEY DRAWINGS



EXISTING AND PROPOSED ELEVATIONS



EXISTING AND PROPOSED ELEVATIONS



PROPOSED BASEMENT FLOOR PLAN



PROPOSED GROUND FLOOR PLAN



MICHAEL GOLD ARCHITECTS
 20 Elm Park Mansions
 Park Walk
 London SW10 0AN
 tel: 020 7352 8885
 e-mail: mgs.1@btconnect.com

10-11 Lancaster Gate W2 3LH
 Conversion to apartments
 date: 12/15 scale: 1:100
 drawing title: 1st floor plan proposed
 Drawing number: L/12

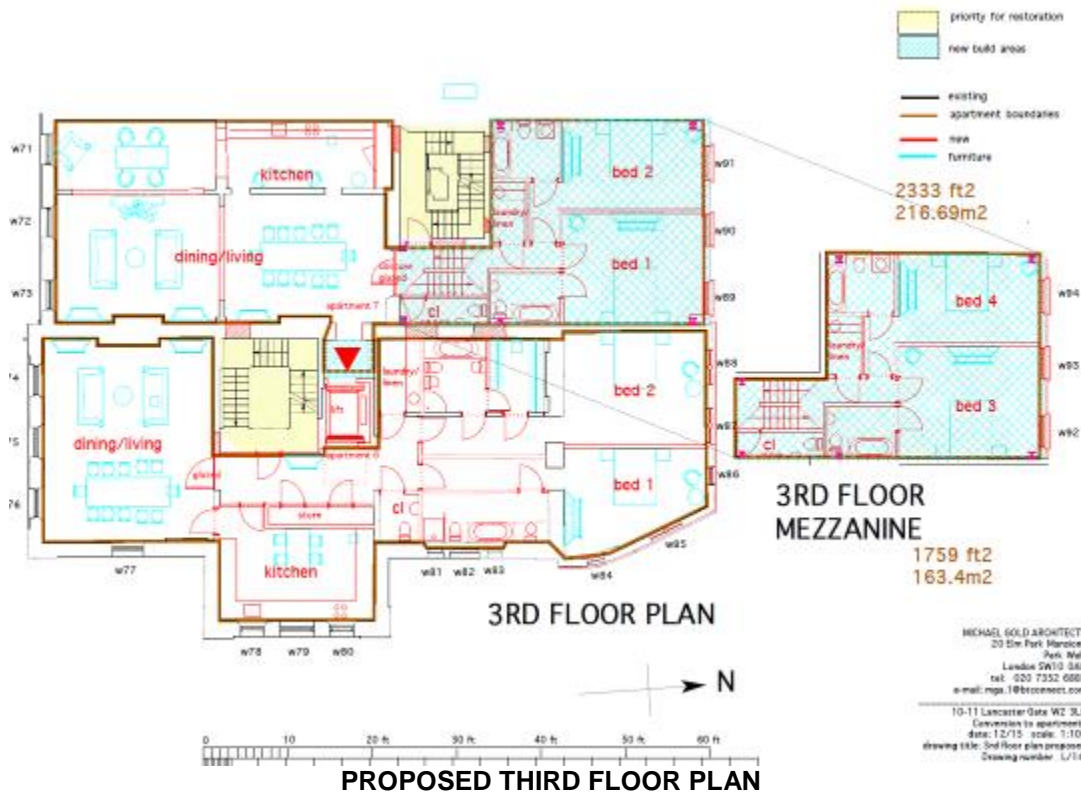
PROPOSED FIRST FLOOR PLAN

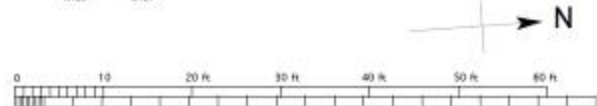
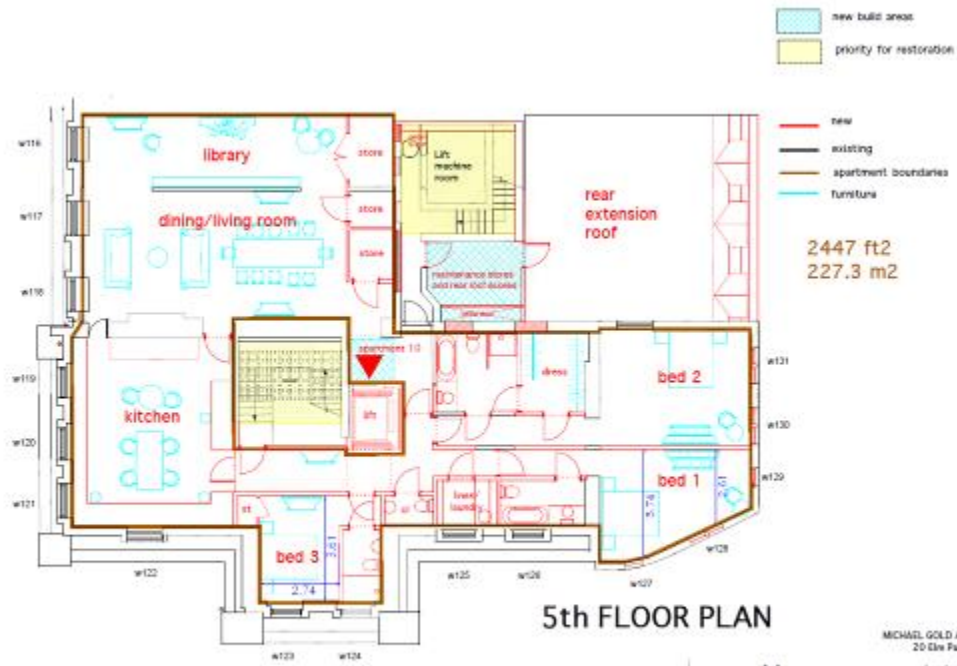


MICHAEL GOLD ARCHITECTS
 20 Elm Park Mansions
 Park Walk
 London SW10 0AN
 tel: 020 7352 8885
 e-mail: mgs.1@btconnect.com

10-11 Lancaster Gate W2 3LH
 Conversion to apartments
 date: 12/15 scale: 1:100
 drawing title: 2nd floor plan proposed
 Drawing number: L/13

PROPOSED SECOND FLOOR PLAN

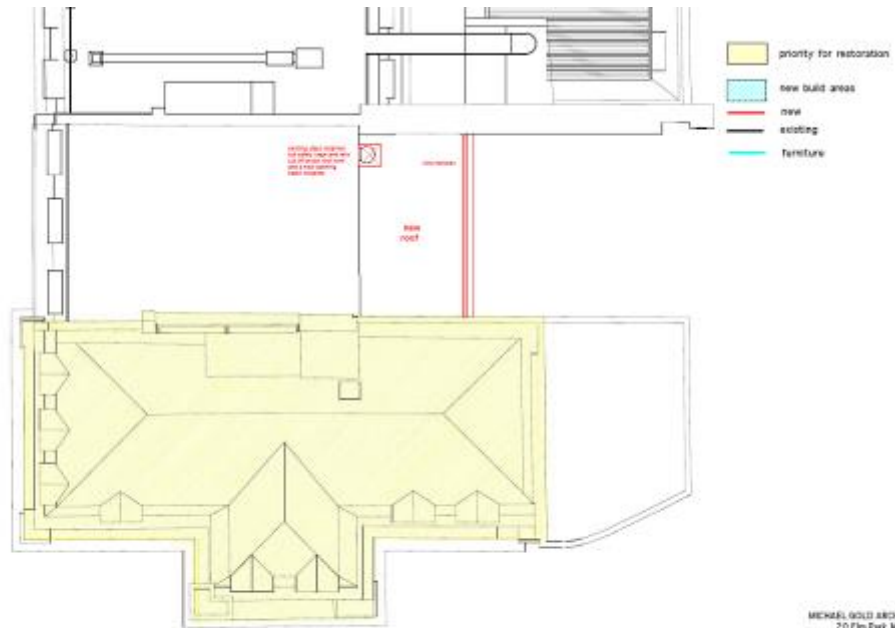




PROPOSED FIFTH FLOOR PLAN

MICHAEL GOLD ARCHITECTS
20 Elm Park Mansions
Park Walk
London SW10 0AN
tel: 020 7352 6885
e-mail: mgs.1@btconnect.com

10-11 Lancaster Gate M2 3JH
Conversion to apartments
date: 12/15 scale: 1/100
drawing title: 5th floor plan proposed
Drawing number: L/18k



PROPOSED ROOF PLAN

MICHAEL GOLD ARCHITECTS
20 Elm Park Mansions
Park Walk
London SW10 0AN
tel: 020 7352 6885
e-mail: mgs.1@btconnect.com

10-11 Lancaster Gate M2 3JH
Conversion to apartments
date: 12/15 scale: 1/100
drawing title: roof plan proposed
Drawing number: L/17j

DRAFT DECISION LETTER

Address: 10-11 Lancaster Gate, London, W2 3LH,

Proposal: Demolition of 1st and 2nd storey of existing rear extension and erection of new four storey rear extension with internal alterations and new lift associated with use of building as ten residential units and associated works.

Reference: 15/11987/FULL

Plan Nos: Site Location Plan, Drawing numbers L/10j, L/11k, L/12j, L/13j, L/14j, L/15j, L/16k, L/17j, L/18d, L/19d, L21, L/30j, L/31k, L/32j, L/33j, L/34j, L/35j, L/36j, L/37j, L/50e, L/51c; Historic Building report by Donald Insall Associates (November 2015); Design and Access Statement by Michael Gold Architects (June 2016)

Case Officer: Nathan Barrett

Direct Tel. No. 020 7641 5943

Recommended Condition(s) and Reason(s):

- 1 In the absence of a policy compliant affordable housing payment, the proposed development would be contrary to policy S16 of the City Plan (adopted November 2016), policy H4 of the Unitary Development Plan (adopted January 2007) and the City Council's Interim Guidance Note on Affordable Housing (November 2013).

Informative(s)

- 1 In dealing with this application the City Council has implemented the requirement in the National Planning Policy Framework to work with the applicant in a positive and proactive way. We have made available detailed advice in the form of our statutory policies in Westminster's City Plan (July 2016), Unitary Development Plan, Supplementary Planning documents, planning briefs and other informal written guidance, as well as offering a full pre application advice service, in order to ensure that applicant has been given every opportunity to submit an application which is likely to be considered favourably. In addition, where appropriate, further guidance was offered to the applicant at the validation stage.

DRAFT DECISION LETTER

Address: 10-11 Lancaster Gate, London, W2 3LH,

Proposal: Demolition of 1st and 2nd storey of existing rear extension and erection of new four storey rear extension with internal alterations and new lift associated with use of building as ten residential units and associated works.

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Case Officer: Nathan Barrett

Direct Tel. No. 020 7641 5943

Recommended Condition(s) and Reason(s) or Reason(s) for Refusal:

- 1 The development hereby permitted shall be carried out in accordance with the drawings and other documents listed on this decision letter, and any drawings approved subsequently by the City Council as local planning authority pursuant to any conditions on this decision letter.

Reason:

For the avoidance of doubt and in the interests of proper planning.

- 2 All new work and improvements inside and outside the building must match existing original adjacent work in terms of the choice of materials, method of construction and finished appearance. This applies unless differences are shown on the approved drawings or are required in conditions to this permission. (C27AA)

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 of our Unitary Development Plan that we adopted in January 2007, and sections 5 and 6 of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings. (R27BC)

- 3 The north facing elevation of the stair enclosure and maintenance room to fifth floor level at the rear of no. 11 Lancaster Gate shall be clad in exposed yellow stock brickwork

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 of our Unitary Development Plan that we adopted in January 2007, and sections 5 and 6 of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings. (R27BC)

- 4 You must apply to us for approval of detailed elevation drawings (and example photographs of

finials as appropriate) of the new railings to be installed to ground floor level. You must not start any work on these parts of the development until we have approved what you have sent us. You must then carry out the work according to these drawings and example photographs. The approved railings shall then be installed to ground floor level prior to the occupation of the residential units.

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 of our Unitary Development Plan that we adopted in January 2007, and sections 5 and 6 of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings. (R27BC)

- 5 The new external railings shall be formed in black painted metal

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 of our Unitary Development Plan that we adopted in January 2007, and sections 5 and 6 of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings. (R27BC)

- 6 Notwithstanding the details shown on the application submission, the existing railings to the Craven Terrace elevation shall be retained and refurbished, with new finials to match existing as appropriate, and shall not be removed

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 of our Unitary Development Plan that we adopted in January 2007, and sections 5 and 6 of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings. (R27BC)

- 7 You must apply to us for approval of an elevation and part section (as appropriate) to show the detailing of the render to the rear extension to no. 10 Lancaster Gate, including any rustication, render detailing and window surrounds. You must not start any work on these parts of the development until we have approved what you have sent us. You must then carry out the work according to these drawings. The render shall be a smooth render which shall be painted and permanently maintained to match the colour of the existing render to the existing building.

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 of our Unitary Development Plan that we adopted in January 2007, and sections 5 and 6 of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings. (R27BC)

- 8 You must apply to us for approval of a sample panel of brickwork which shows the colour, texture, face bond and pointing for the new rear extension to no. 11 Lancaster Gate. You must not start work on this part of the development until we have approved what you have sent us.

You must then carry out the work according to the approved sample. This brickwork shall not be painted, rendered or otherwise overclad (C27DB)

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 of our Unitary Development Plan that we adopted in January 2007, and sections 5 and 6 of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings. (R27BC)

- 9 Notwithstanding the application submission, the existing rendered elevations to the existing buildings at nos. 10 and 11 Lancaster Gate shall be maintained in its existing colour

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 of our Unitary Development Plan that we adopted in January 2007, and sections 5 and 6 of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings. (R27BC)

- 10 Notwithstanding the application submission, no external wall insulation shall be added to the existing buildings nor internal insulation to the existing buildings to nos. 10 and 11 Lancaster Gate, with the exception of the rear extension above ground floor level to no. 10 Lancaster Gate

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 of our Unitary Development Plan that we adopted in January 2007, and sections 5 and 6 of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings. (R27BC)

- 11 Notwithstanding the application submission, no lift housings, staircase structures, plant boxes, balustrading (whether glazed or otherwise) or green roofs shall be erected to roof level unless specifically shown to the application drawings.

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 of our Unitary Development Plan that we adopted in January 2007, and sections 5 and 6 of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings. (R27BC)

- 12 The new mansard shall have pitched roofs clad in natural slate, and the dormers within the mansard shall be clad in lead to sides, cheeks and roofs

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 of our Unitary Development Plan that we adopted in January 2007, and sections 5 and 6 of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings. (R27BC)

- 13 You must apply to us for approval of detailed plan and elevation drawings showing any security measures to the windows to pavement level on the Craven Terrace elevation. You must not start any work on these parts of the development until we have approved what you have sent us.

You must then carry out the work according to these drawings. (C26DB)

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 of our Unitary Development Plan that we adopted in January 2007, and sections 5 and 6 of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings. (R27BC)

- 14 The new windows to rooms 1.4 and 1.5 shall be single glazed and formed in glazing and white painted timber framing, and the new windows to the rear extensions to nos. 10 and 11 Lancaster Gate shall be formed in glazing and white painted timber framing

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 of our Unitary Development Plan that we adopted in January 2007, and sections 5 and 6 of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings. (R27BC)

- 15 You must apply to us for approval of detailed elevation and section drawings of the new entrance doors to ground floor level, and detailed elevations of the new internal doors cross-referenced to a plan marking the location of each. You must not start any work on these parts of the development until we have approved what you have sent us.

You must then carry out the work according to these drawings. (C26DB)

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 of our Unitary Development Plan that we adopted in January 2007, and sections 5 and 6 of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings. (R27BC)

- 16 You must apply to us for approval of detailed elevation and section drawings of the new windows. You must not start any work on these parts of the development until we have approved what you have sent us.

You must then carry out the work according to these drawings. (C26DB)

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 of our Unitary Development Plan that we adopted in January 2007, and sections 5 and 6 of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings. (R27BC)

- 17 You must paint all new outside rainwater and soil pipes black and keep them that colour. (C26EA)

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 of our Unitary Development Plan that we adopted in January 2007, and sections 5 and 6 of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings. (R27BC)

- 18 You must not attach flues, ducts, soil stacks, soil vent pipes, or any other pipework other than rainwater pipes to the outside of the building facing the street unless they are shown on drawings we have approved. (C26MA)

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 of our Unitary Development Plan that we adopted in January 2007, and sections 5 and 6 of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings. (R27BC)

- 19 You must not put any machinery or associated equipment, ducts, tanks, satellite or radio aerials on the roof, or (notwithstanding the application submission) balustrading to the roof of the plant room or generally to roof level, except (with the exception of the balustrading above the plant room) those shown on the approved drawings. (C26PA)

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 of our Unitary Development Plan that we adopted in January 2007, and sections 5 and 6 of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings. (R27BC)

- 20 You must apply to us for approval of a schedule of, and methodology for internal plaster restoration and finish. You must not start any work on these parts of the development until we have approved what you have sent us.

You must then carry out the work according to these details. (C26DB)

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 of our Unitary Development Plan that we adopted in January 2007, and sections 5 and 6 of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings. (R27BC)

- 21 You must apply to us for approval of detailed plan/elevation/section drawings (as appropriate) showing the following alteration(s) to the scheme:-

The enclosure underneath the main staircase to ground floor level set further back towards no. 11 Lancaster Gate, and with any associated alterations to the width of the entrance door(s) between the hallway and front room adjacent to facilitate this

You must not start on these parts of the work until we have approved what you have sent us. You must then carry out the work according to the approved drawings. (C26UB)

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 of our Unitary Development Plan that we adopted in January 2007, and sections 5 and 6 of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings. (R27BC)

- 22 You must apply to us for approval of detailed elevation, or photographs, with either cross-referenced to annotated plans to show the design and location of any new internal fireplaces. You must not start any work on these parts of the development until we have approved what you have sent us.

You must then carry out the work according to these drawings or photographs. (C26DB)

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 of our Unitary Development Plan that we adopted in January 2007, and sections 5 and 6 of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings. (R27BC)

- 23 Notwithstanding the application submission, the existing ceramic floor tiling to ground floor level shall be retained in-situ

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 of our Unitary Development Plan that we adopted in January 2007, and sections 5 and 6 of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings. (R27BC)

- 24 Any acoustic insulation proposed to floors shall be installed either between joists or above, and shall not involve the removal, alteration or enclosure of ceilings to the floor level below

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 of our Unitary Development Plan that we adopted in January 2007, and sections 5 and 6 of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings. (R27BC)

- 25 You must not disturb existing ornamental features including chimney pieces, plasterwork, architraves, panelling, doors and staircase balustrades. You must leave them in their present position unless changes are shown on the approved drawings or are required by conditions to

this permission. You must protect those features properly during work on site. (C27KA)

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 of our Unitary Development Plan that we adopted in January 2007, and sections 5 and 6 of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings. (R27BC)

Informative(s):

- 1 SUMMARY OF REASONS FOR GRANTING CONDITIONAL LISTED BUILDING CONSENT - In reaching the decision to grant listed building consent with conditions, the City Council has had regard to the relevant policies in the National Planning Policy Framework March 2012, the London Plan March 2016, Westminster's City Plan (November 2016), and the City of Westminster Unitary Development Plan adopted January 2007, as well as relevant supplementary planning guidance, representations received and all other material considerations.

The City Council decided that the proposed works would not harm the character of this building of special architectural or historic interest.

In reaching this decision the following were of particular relevance:

S25 and S28 of Westminster's City Plan: Strategic Policies and DES 10 including paras 10.130 to 10.146 of the Unitary Development Plan, and our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings.

Please note: the full text for informatives can be found in the Council's Conditions, Reasons & Policies handbook, copies of which can be found in the Committee Room whilst the meeting is in progress, and on the Council's website.